22/4743M & 22/4744M 22 LONDON ROAD, ALDERLEY EDGE, WILMSLOW, SK9 7JS





SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

#### DRAWING

## **Location Plan**

PROJECT NO. **9021** DWG NO. EX-001 SCALE @ A3 1:1250 DRAWN BY CHECKED BY -LF -MAL

## PLANNING

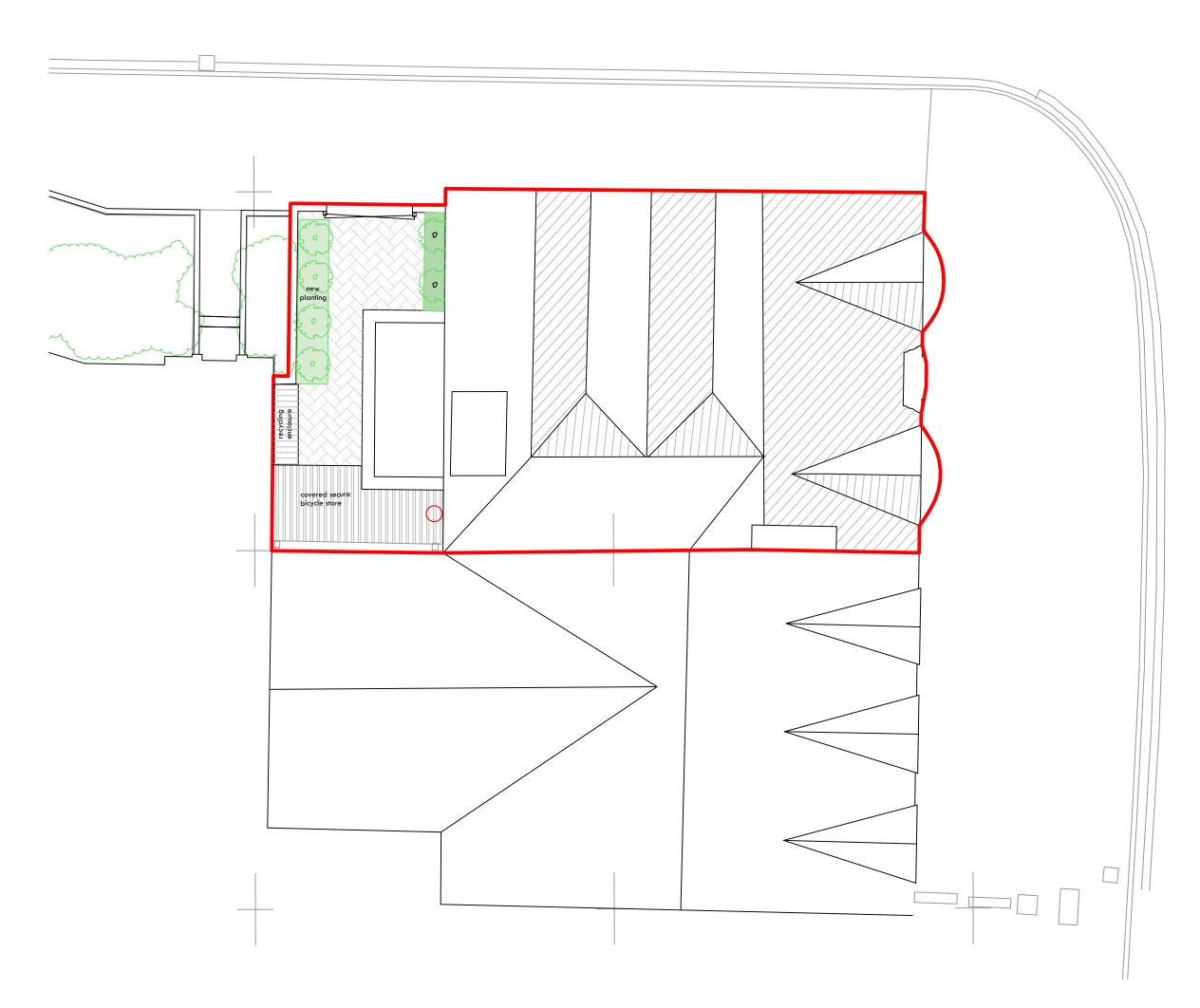
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-	-	-	-	-
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SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

# Proposed site plan

PROJECT NO. 9021 DWG NO. P-001 SCALE @ A3 1:100 DRAWN BY CHECKED BY

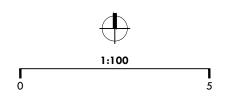
-LF -MAL

## PLANNING

NTL. CHK. DATE

MM MM 21.04.23 REV DESCRIPTION A Revised design MM MM 11.05.23 MM MM 14.06.23

----- Demolished

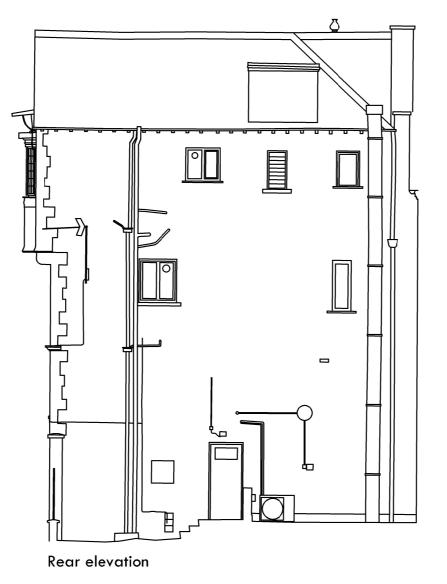


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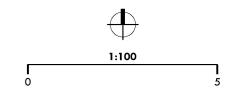
site ADDRESS
22 London Road
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SK9 7DZ

# DRAWING Existing rear elevation

PROJECT NO. **9021** DWG NO. EX-202 SCALE @ A3 1:50 DRAWN BY CHECKED BY -LF -MAL

## PLANNING

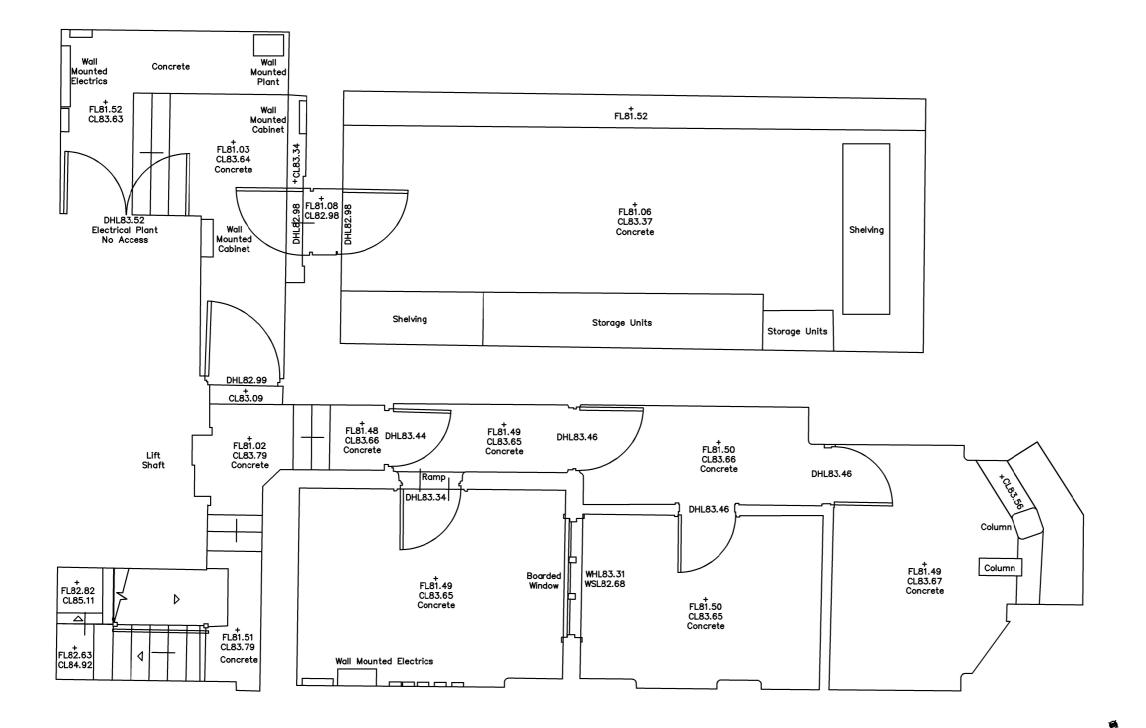
REV	DESCRIPTION	INTL.	CHK.	DATE	
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## Barclays Bank

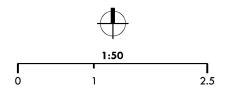
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

# Existing basement plan

PROJECT NO. <b>9021</b>	DWG NO. EX-100	REV NO.	SCALE @ A3 1:50
DRAWN BY	CHECKED BY		
-LF	-MAL		

## PLANNING

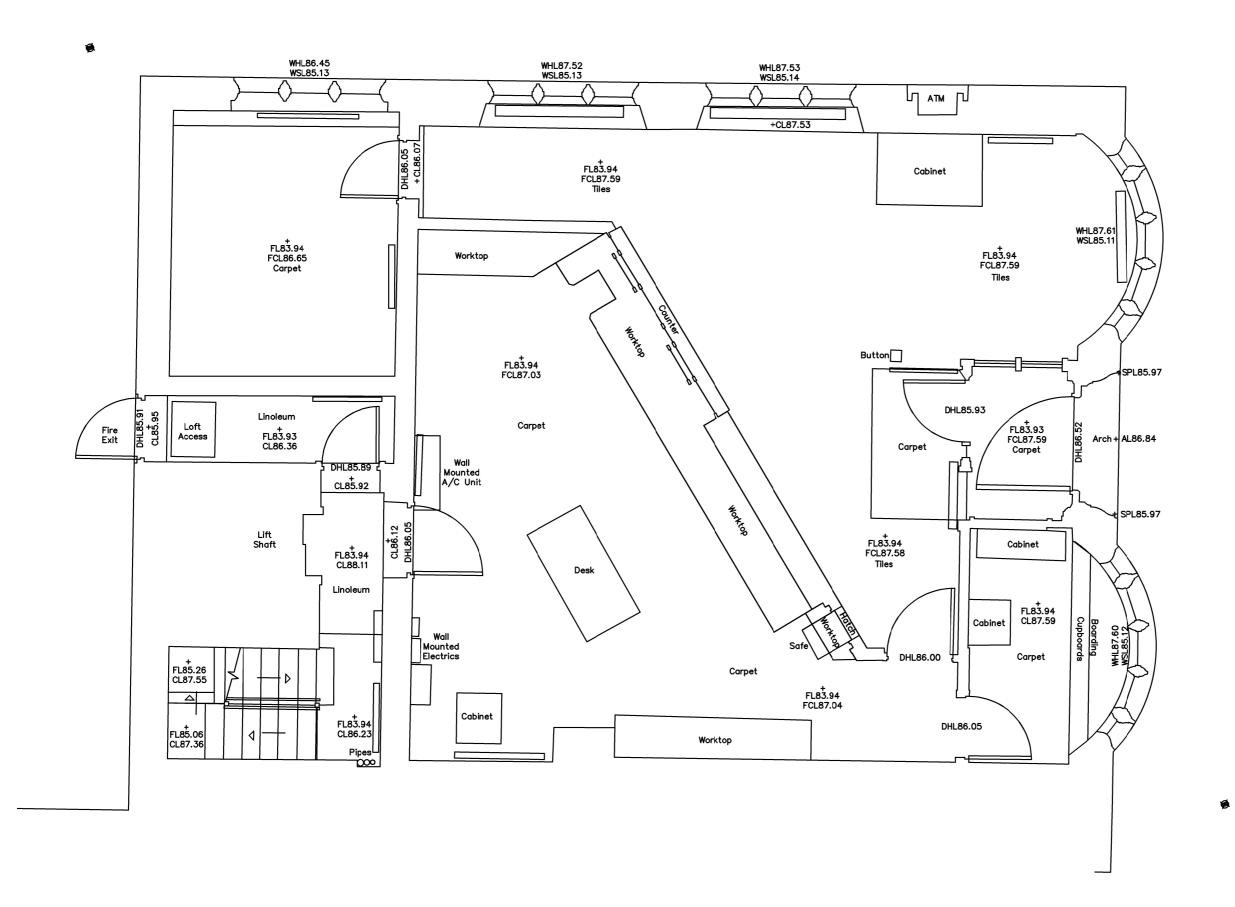
REV	DESCRIPTION	INTL.	CHK.	DAT
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DRAWING

## Existing ground floor plan

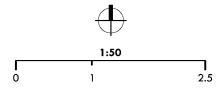
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-LF

-MAL

## PLANNING

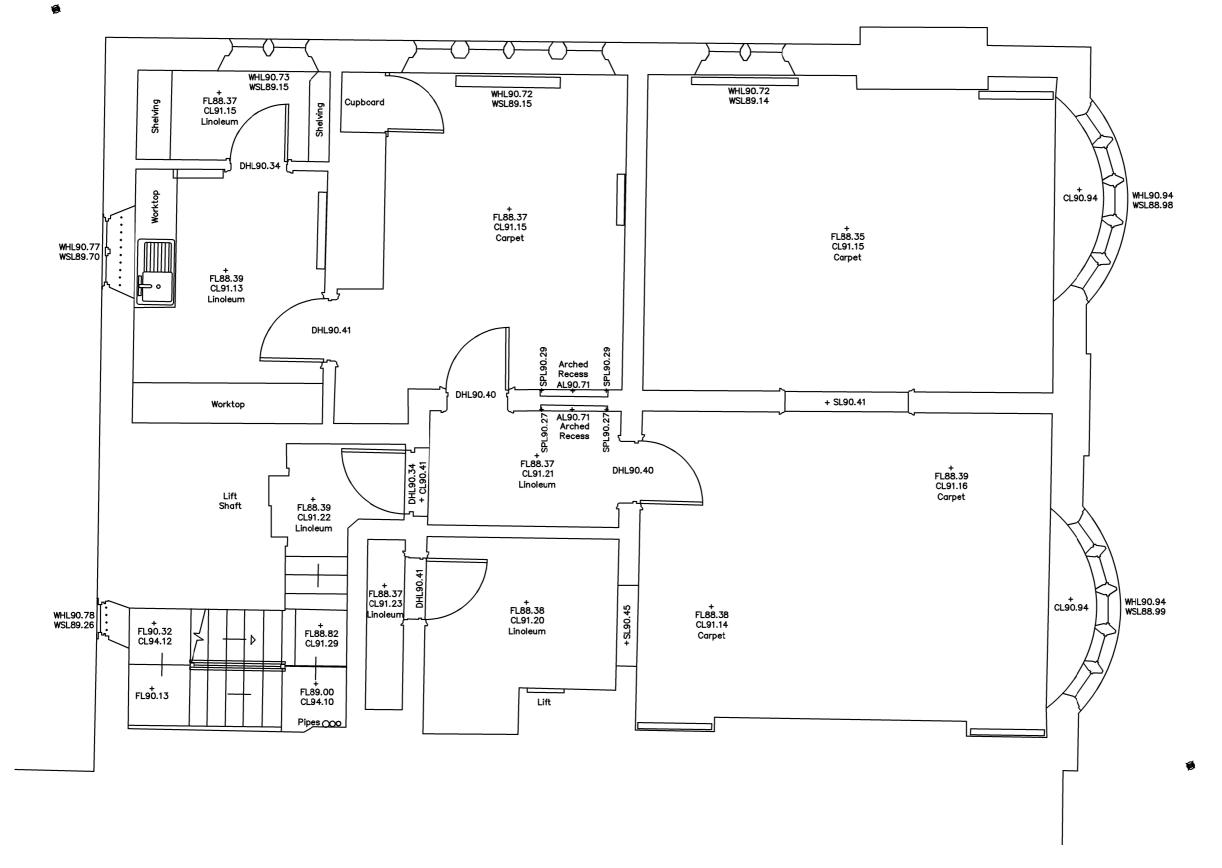
REV	DESCRIPTION	INTL.	CHK.	DAT
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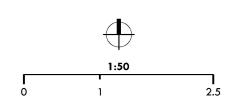
#### DRAWING

## Existing first floor plan

PROJECT NO. **9021** DWG NO. EX-102 SCALE @ A3 1:50 DRAWN BY CHECKED BY -LF -MAL

## PLANNING

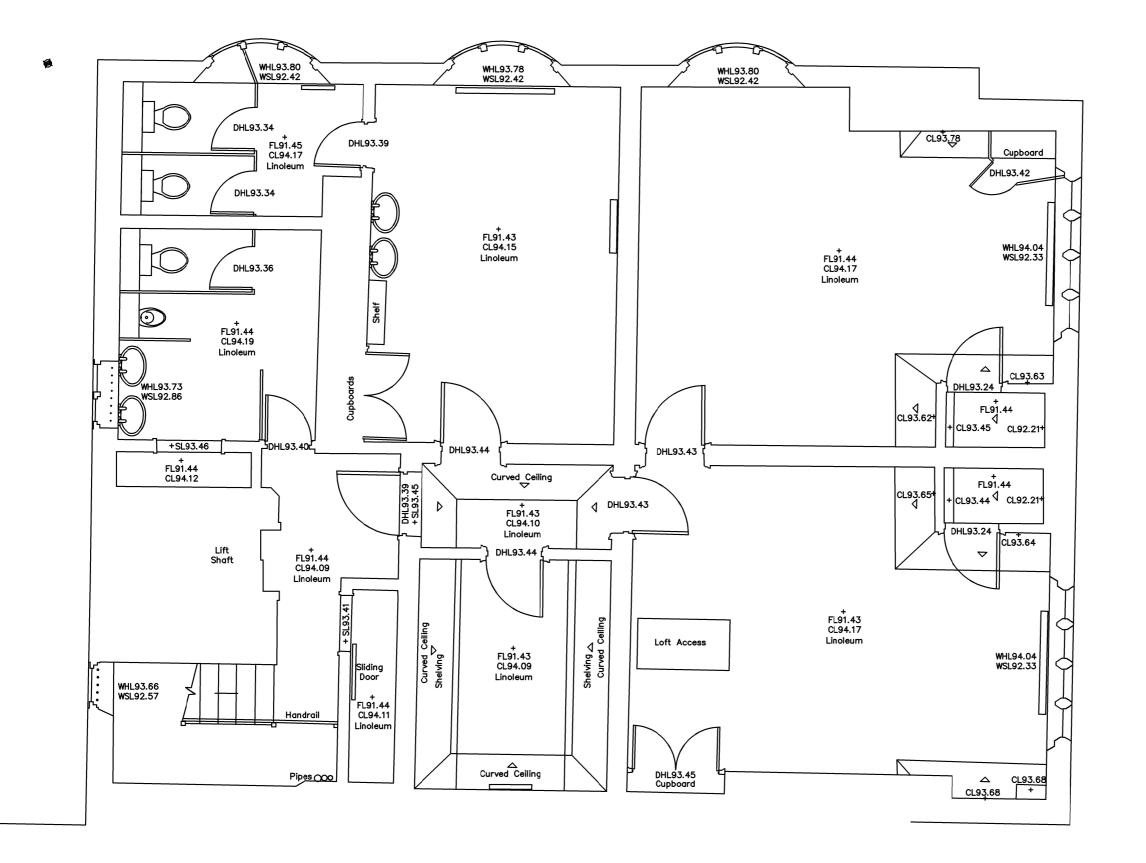
REV	DESCRIPTION	INTL.	CHK.	DATE
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DRAWING

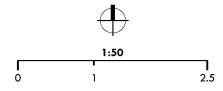
## Existing second floor plan

PROJECT NO. **9021** DWG NO. EX-103 SCALE @ A3 1:50 DRAWN BY CHECKED BY

-LF -MAL

## PLANNING

REV	DESCRIPTION	INTL.	CHK.	DAT
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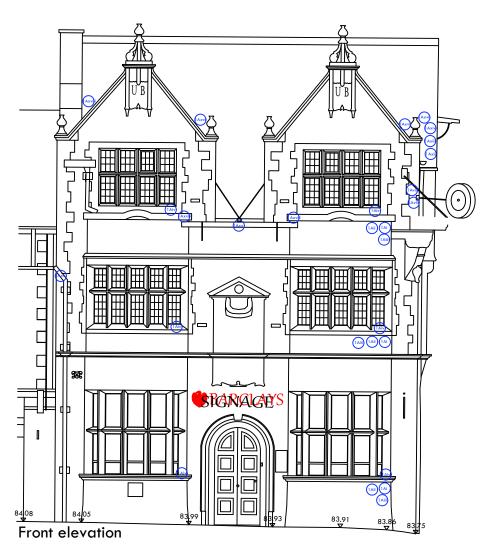
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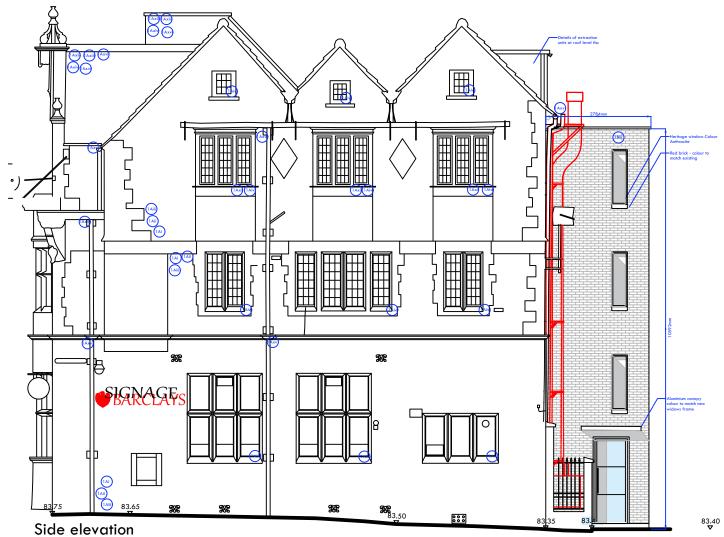
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-	1. External
Α	Refurbishment Repair existing walls where required with minor repointing of eroded joints required
i.	with lime-mortar based. Bricks can be carefully removed and reversed to hide the dec
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar
iii.	with suitable lime-based mortar.
iv.	Carefully remove all friable lose surfaces from window plinths.
٧.	Clean plinths below windows. Existing grilles and mesh and fixings to be removed from the window openings and ar
vi.	holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
iX.	Repair timber fascia located centrally to the building.
Х	Strengthen second floor cantilever structure to SE recommendations.
Xi	Clean and re-instate original tiles below 2 <sup>nd</sup> -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal Broken roof slates to be replaced and refixed with copper wire, but if they are heavier
Xiii.	should be nailed or pegged. New slates should match original. Isolated tiles can be
	resecured by hooking the pegs over the battens. Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, repla
Xiv.	by using a matching flashing wedged and pointed above the original with soft lime
ΛIV.	mortar. If there is a vertical split replace with a short length segment.
	mortar. If there is a vertical split replace with a short length segment. Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire
Xv.	balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acryli
	redecorate with a solvent base system, such as an epoxy phosphate primer and acryll prethane gloss.
Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XiX.	Remove aerial if not required.
В.	Conversion
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift , associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
٧.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
	Remove stepped level coming from the basement to the circulation area (to be
vii.	investigated internally).
viii.	Excavate for foundations to SE suggestion.
ix.	Secondary windows to be installed.
х.	New heritage style window to be installed to the rear wall and the staircase
	2. Existing Internal
Α.	Refurbishment
	Flaking plasterwork to be removed and walls to be made good to receive a lime
	mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the same plaster. If areas of plaster become powdery consolidation techniques should be
i.	used. Flaky paintwork to be removed but the rest should be left undisturbed. New pa
	can be to the original standard, assume lime-wash with alkali-resistant pigments of
	colour.
ii.	Remove furniture and fittings.
ii. iii.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations.
iii.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral
	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint.
iii.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress throug the roof.
iii. iv.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows.
iii. iv. v.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress throug the roof.
iii. iv. v. vi.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress throughteroof. Repair damaged windows.
iii. iv. v. vi. vii.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress throughter roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required.
iii. iv. v. vi. vii. viii.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress throughter roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces.
iii. iv. v. vi. vii. viii. iX.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones.
iii. iv. v. vi. vii. iX. X.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor
iii. iv. v. vi. vii. viii. iX. X. Xi.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Remove stud walls and new partitions.
iii.  v.  vi.  vii.  iX.  Xi.  Xii.	Remove furniture and fittings.  The roof void is to be checked for defects and repaired as per surveyors' recommendations.  Re-instate damaged original skirting board and re-paint with breathable mineral paint.  Re-instate damaged original coving on the second floor from water ingress through the roof.  Repair damaged windows.  Remove later fixings on walls and repair walls.  Repair or replace to exact specification internal window ledges where required.  Remove toilets and kitchen facilities and repair associated existing surfaces.  Remove existing floor coverings and replace them with new ones.  Remove suspended ceilings and re-instate original ceiling on ground floor  Remove stud walls and new partitions.
iii. iv. v. vi. viii. iX. Xi. Xii. Xiii. B.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Remove stud walls and new partitions. Re-instate original walls. Conversion
iii. iv. v. vi. viii. iiX. X. Xii. Xiii. B. i.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Remove stud walls and new partitions. Re-instate original walls. Conversion Remove existing electrical wires.
iii.  iv.  v.  vi.  viii.  iX.  X.  Xii.  Xiii.  B.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Remove stud walls and new partitions. Re-instate original walls. Conversion Remove existing electrical wires. Remove wall paper from the ceiling
iii. iv. v. vi. vii. iX. X. Xi. Xii. B. i.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Remove stud walls and new partitions. Re-instate original walls. Conversion Remove existing electrical wires. Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the
iii. iv. v. vi. vii. iX. Xi. Xii. Xiii. B. i. iii.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Re-instate original walls. Conversion Remove existing electrical wires. Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iii. iv. v. vi. viii. iX. X. Xii. Xiii. B. i. ii. iii.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Remove stud walls and new partitions. Re-instate original walls. Conversion Remove existing electrical wires. Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal. Reposition fire exit signs.
iii. iv. v. vi. vii. viii. iX. X. Xii. Xii	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Re-instate original walls. Conversion Remove existing electrical wires. Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iii. iv. v. vi. viii. iX. Xi. Xiii. B. i. iii. iv. v. vi.	Remove furniture and fittings.  The roof void is to be checked for defects and repaired as per surveyors' recommendations.  Re-instate damaged original skirting board and re-paint with breathable mineral paint.  Re-instate damaged original coving on the second floor from water ingress through the roof.  Repair damaged windows.  Remove later fixings on walls and repair walls.  Repair or replace to exact specification internal window ledges where required.  Remove toilets and kitchen facilities and repair associated existing surfaces.  Remove existing floor coverings and replace them with new ones.  Remove suspended ceilings and re-instate original ceiling on ground floor  Remove stud walls and new partitions.  Re-instate original walls.  Conversion  Remove existing electrical wires.  Remove wall paper from the ceiling  Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.  Reposition fire exit signs.  Re-instate cupboards under roof valleys.  Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
iii. iv. v. vi. vii. viii. iX. Xi. Xiii. B. ii. iii. iv.	Remove furniture and fittings. The roof void is to be checked for defects and repaired as per surveyors' recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral paint. Re-instate damaged original coving on the second floor from water ingress through the roof. Repair damaged windows. Remove later fixings on walls and repair walls. Repair or replace to exact specification internal window ledges where required. Remove toilets and kitchen facilities and repair associated existing surfaces. Remove existing floor coverings and replace them with new ones. Remove suspended ceilings and re-instate original ceiling on ground floor Re-instate original walls. Conversion Remove existing electrical wires. Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal. Reposition fire exit signs. Re-instate cupboards under roof valleys. Clock mechanism to be replaced with a new one and to be repositioned to an



SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

## Proposed side & front elevations

PROJECT NO. **9021** SCALE @ A3 1:100 DWG NO. P-201 DRAWN BY CHECKED BY

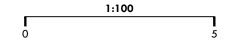
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-MAL

## PLANNING

INTL. CHK. DATE MM MM 21.04.23 MM MM 16.05.23 MM MM 21.06.23

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SITE ADDRESS 22 London Road Alderley Edge SK9 7DZ

## Proposed Side Colour Elevation

PROJECT NO. 9021 P-203 CHECKED BY

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## PLANNING

REV DESCRIPTION

INTL CHK. DATE

SCALE @ A3 1:100

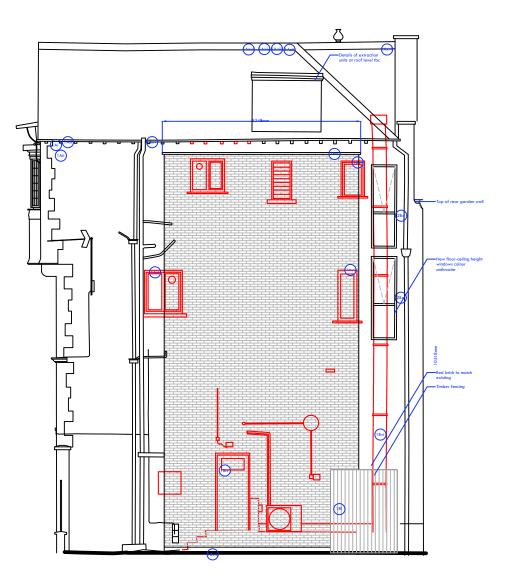


1:100

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Rear elevation

#### 1. External

- A. Refurbishment
- epair existing walls where required with minor repointing of eroded joints required i. rith lime-mortar based. Bricks can be carefully removed and reversed to hide the decay
- Clean bricks from water ingress signs where required and reverse cracked bricks. ii.
- Repair wall cracking by replacing bricks of the same colour and quality and re-mortar iii. with suitable lime-based mortar.
- Carefully remove all friable lose surfaces from window plinths. iv.
- v. Clean plinths below windows.
- xisting grilles and mesh and fixings to be removed from the window openings and any vi. oles to be made good with a lime-based mortar.
- vii. Repair and reinforce and tie the wall near the clock to SE recommendations.
- viii. Replace to its original state timber support to the clock.
- iX. Repair timber fascia located centrally to the building.
- X Strengthen second floor cantilever structure to SE recommendations.
- Xi Clean and re-instate original tiles below 2<sup>nd</sup>-floor windows.
- Xii. Brush off excessive moss from the roof and sprayed with anti-fungal
- roken roof slates to be replaced and refixed with copper wire, but if they are heavier Xiii. should be nailed or pegged. New slates should match original. Isolated tiles can be
- esecured by hooking the pegs over the battens. Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime mortar. If there is a vertical split replace with a short length segment. Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire
- balloons above downpipes. Prepare surface by removing old rust and paint and Xv. redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic urethane gloss.
- Xvi. Repair side wall slates on roof dormers.
- Xvii. Clean moss and overgrown vegetation from the ground of the rear yard.
- Clean moss from the balcony outside the windows. Xviii.
- emove aerial if not required. XiX.
- B. Conversion
- Remove parts of the rear wall for access on the first and second floor. i.
- ii. emove lift, associated walls and staircase as indicated
- New brick on the staircase to match existing and windows to be heritage style. iii.
- Remove the fire exit door and steps from the rear side. iv.
- emove external flue and repair opening from the basement. ٧.
- emove vents coming from the basement to the circulation area (to be investigated vi.
- emove stepped level coming from the basement to the circulation area (to be vii.
- nvestigated internally). viii. Excavate for foundations to SE suggestion.
- Secondary windows to be installed. ix.
- x. New heritage style window to be installed to the rear wall and the staircase

#### 2. Existing Internal

#### A. Refurbishment

- laking plasterwork to be removed and walls to be made good to receive a lime nortar-based plaster and a breathable based paint. Widen cracks prior to fill with the
- same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint an be to the original standard, assume lime-wash with alkali-resistant pigments of olour.
- Remove furniture and fittings. ii.
- he roof void is to be checked for defects and repaired as per surveyors' iii.
- ecommendations.
- instate damaged original skirting board and re-paint with breathable mineral iv. e-instate damaged original coving on the second floor from water ingress through
- ٧. ne roof.
- vi. Repair damaged windows.
- Remove later fixings on walls and repair walls. vii.
- viii. Repair or replace to exact specification internal window ledges where required.
- emove toilets and kitchen facilities and repair associated existing surfaces. iX.
- Remove existing floor coverings and replace them with new ones.
- х. Xi. Remove suspended ceilings and re-instate original ceiling on ground floor..
- Xii. emove stud walls and new partitions.
- Xiii. Re-instate original walls.
- В. Conversion
- emove existing electrical wires.
- emove wall paper from the ceiling ii.
- emove the old fire/ smoke sensor and replace it with a new one that suits the iii. proposal.
- iv. Reposition fire exit signs.
- ٧. e-instate cupboards under roof valleys.
- lock mechanism to be replaced with a new one and to be repositioned to an
- emove later added heating pipes.
- ew walls attached to existing original walls to be lightly fixed, so that works are

## nc architecture

PROJECT

### Barclays Bank

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#### DRAWING

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## Proposed rear elevation

-MAL

SCALE @ A3 1:100 P-202 9021 DRAWN BY CHECKED BY

### PLANNING

REV DESCRIPTION INTL. CHK. DATE MM MM 21.04.23 Revised design MM MM 11.05.23 B Reduced alazina Amendments to elevation MM MM 14.06.23 D Extractor note added MM MM 21.06.23



**nc architecture** The Island, St. Ann's Parade, Wilmslow, Cheshire SK9 1HG

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RIBA #



## Barclays Bank

SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING

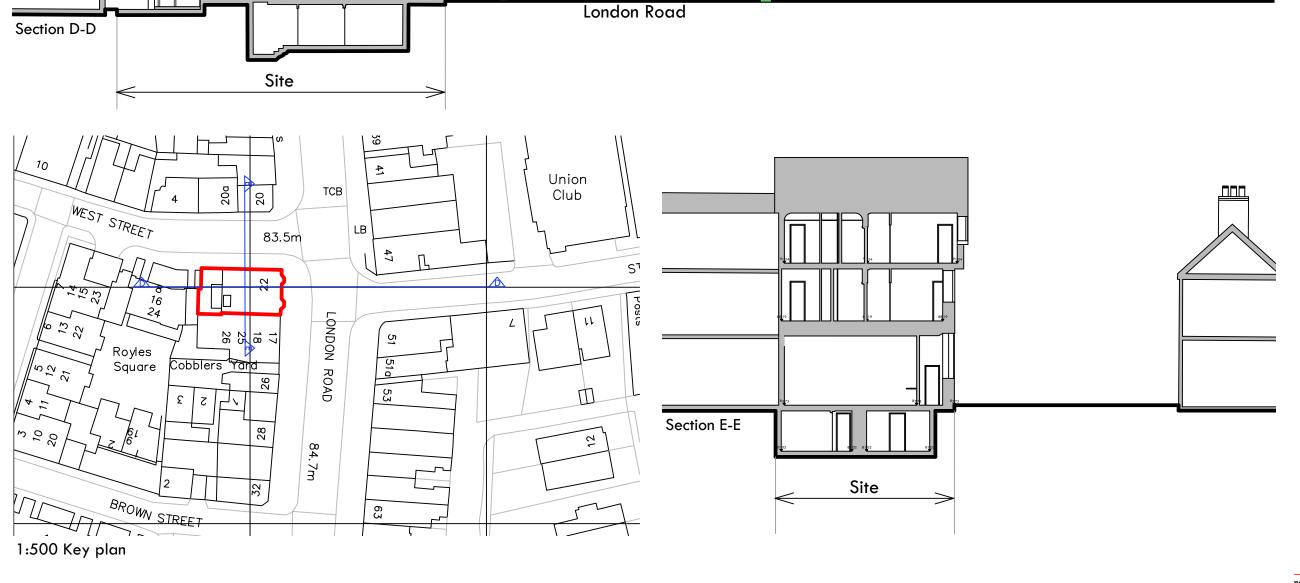
## Proposed street sections

PROJECT NO. 9021 DWG NO. P-303 SCALE @ A3 1:200 DRAWN BY CHECKED BY

-LF - MAL

## PLANNING

REV DESCRIPTION INTL. CHK. DATE

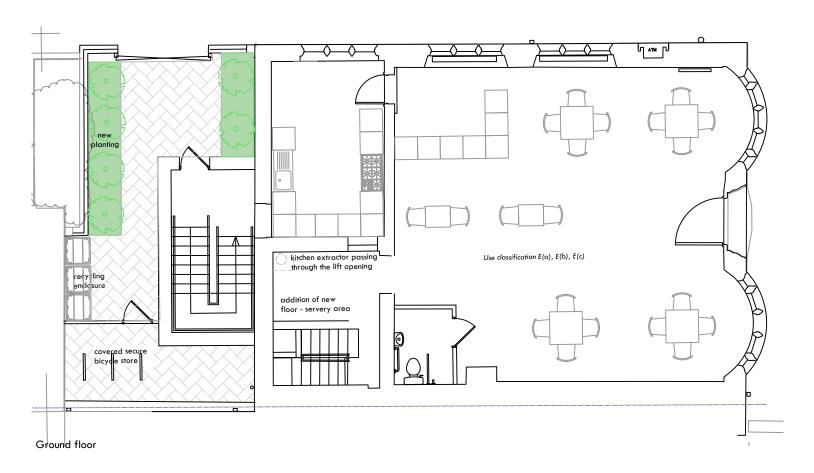


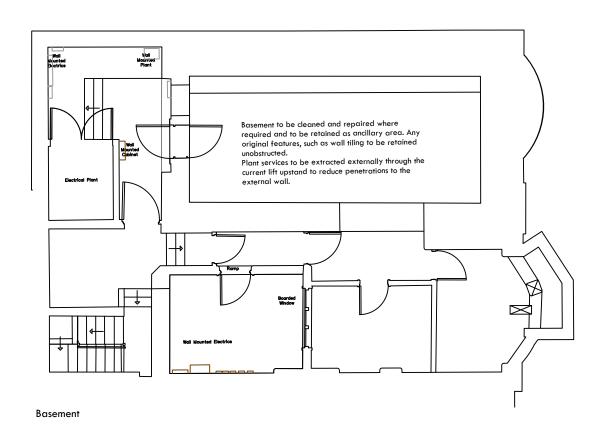
1:200

nc architecture The Island, St. Ann's Parade, Wilmslow, Cheshire SK9 1HG

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RIBA ## Chartered Practice
Architects
Registration
Board





#### 1. External

#### A. Refurbishment

- Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay
- Clean bricks from water ingress signs where required and reverse cracked bricks.
- Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
- Carefully remove all friable lose surfaces from window plinths.
- v. Clean plinths below windows.
- Existing grilles and mesh and fixings to be removed from the window openings and any
- holes to be made good with a lime-based mortar.
- vii. Repair and reinforce and tie the wall near the clock to SE recommendations.
- viii. Replace to its original state timber support to the clock.
- iX. Repair timber fascia located centrally to the building.
- X Strengthen second floor cantilever structure to SE recommendations.
- Xi Clean and re-instate original tiles below 2<sup>nd</sup>-floor windows.
- Xii. Brush off excessive moss from the roof and sprayed with anti-fungal
- Broken roof slates to be replaced and refixed with copper wire, but if they are heavier Xiii. should be nailed or pegged. New slates should match original. Isolated tiles can be
- resecured by hooking the pegs over the battens. Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace
- Xiv. by using a matching flashing wedged and pointed above the original with soft lime
- mortar. If there is a vertical split replace with a short length segment. Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire balloons above downpipes. Prepare surface by removing old rust and paint and
- redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic urethane gloss.
- Xvi. Repair side wall slates on roof dormers.
- Xvii. Clean moss and overgrown vegetation from the ground of the rear yard.
- Xviii. Clean moss from the balcony outside the windows.
- XiX. Remove aerial if not required.
- B. Conversion
- Remove parts of the rear wall for access on the first and second floor.
- Remove lift, associated walls and staircase as indicated
- iii. New brick on the staircase to match existing and windows to be heritage style.
- iv. Remove the fire exit door and steps from the rear side.
- v. Remove external flue and repair opening from the basement.
- Remove vents coming from the basement to the circulation area (to be investigated
- internally)
- Remove stepped level coming from the basement to the circulation area (to be investigated internally).
- viii. Excavate for foundations to SE suggestion.
- ix. Secondary windows to be installed.
- x. New heritage style window to be installed to the rear wall and the staircase

#### 2. Existing Internal

#### A. Refurbishment

- Flaking plasterwork to be removed and walls to be made good to receive a lime mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the
- same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of
- colour.

  ii. Remove furniture and fittings.
- The roof void is to be checked for defects and repaired as per surveyors'
- recommendations.
- instate damaged original skirting board and re-paint with breathable mineral Re-instate damaged original coving on the second floor from water ingress through
- the roof.
- vi. Repair damaged windows.
- vii. Remove later fixings on walls and repair walls.
- viii. Repair or replace to exact specification internal window ledges where required.
- iX. Remove toilets and kitchen facilities and repair associated existing surfaces.
- X. Remove existing floor coverings and replace them with new ones.
- Xi. Remove suspended ceilings and re-instate original ceiling on ground floor..
- Xii. Remove stud walls and new partitions.
- Xiii. Re-instate original walls.
- B. Conversion
- Remove existing electrical wires.
- Remove wall paper from the ceiling
- Remove the old fire/ smoke sensor and replace it with a new one that suits the
- proposal.
- Reposition fire exit signs.
- v. Re-instate cupboards under roof valleys.
- Clock mechanism to be replaced with a new one and to be repositioned to an
- accessible location
- Remove later added heating pipes.
- New walls attached to existing original walls to be lightly fixed, so that works are reversible in the future.
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    - info@ncarchitecture.com www.ncarchitecture.com



PROJECT

### Barclays Bank

22 London Road Alderley Edge SK9 7DZ

DRAWING

Proposed GA basement and ground floor plan

PROJECT NO. P-104 1:100 9021

CHECKED BY DRAWN BY -LF -MAL

### PLANNING

REV	DESCRIPTION	INTL.	CHK.	DATE
Α	Revised design	MM	мм	21.04.23
В	Reduced glazing	MM	MM	11.05.23
<u>-</u>	Amendments to elevations	MM-	MM -	14.06.23

Gross Interne	al Area (GIA)
Basement	92 sqm
Ground	122 sqm
Apartment 1	52 sqm
Apartment 2	50 sqm
Apartment 3	53 sqm
Apartment 4	54 sqm
Total	423 sqm



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Architects Registration Board

RIBA #



Gross Internal Area (GIA)		
Basement	92 sqm	
Ground	122 sqm	
Apartment 1	52 sqm	
Apartment 2	50 sqm	
Apartment 3	53 sqm	
Apartment 4	54 sqm	
Total	423 sqm	

#### 1. External

- epair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
- Clean bricks from water ingress signs where required and reverse cracked bricks.
- Repair wall cracking by replacing bricks of the same colour and quality and re-mortar vith suitable lime-based mortar.
- iv. Carefully remove all friable lose surfaces from window plinths.
- v. Clean plinths below windows.
- existing grilles and mesh and fixings to be removed from the window openings and any noles to be made good with a lime-based mortar.
- vii. Repair and reinforce and tie the wall near the clock to SE recommendations.
- viii. Replace to its original state timber support to the clock.
- ix. Repair timber fascia located centrally to the building.
- X Strengthen second floor cantilever structure to SE recommendations.
- Xi Clean and re-instate original tiles below 2<sup>nd</sup>-floor windows.
- Xii. Brush off excessive moss from the roof and sprayed with anti-fungal
- Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be
- resecured by hooking the pegs over the battens. Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace Xiv. by using a matching flashing wedged and pointed above the original with soft lime nortar. If there is a vertical split replace with a short length segment. Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire
- balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic rethane gloss.
- Xvi. Repair side wall slates on roof dormers.
- Xvii. Clean moss and overgrown vegetation from the ground of the rear yard.
- Xviii. Clean moss from the balcony outside the windows.
- XiX. Remove aerial if not required.
- B. Conversion
- emove parts of the rear wall for access on the first and second floor.
- Remove lift, associated walls and staircase as indicated
- iii. New brick on the staircase to match existing and windows to be heritage style.
- Remove the fire exit door and steps from the rear side.
- Remove external flue and repair opening from the basement.
- emove vents coming from the basement to the circulation area (to be investigated nternally).
- emove stepped level coming from the basement to the circulation area (to be investigated internally).
- viii. Excavate for foundations to SE suggestion.
- Secondary windows to be installed.
- New heritage style window to be installed to the rear wall and the staircase

#### 2. Existing Internal

#### A. Refurbishment

Flaking plasterwork to be removed and walls to be made good to receive a lime mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the

- same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of olour.
- ii. Remove furniture and fittings.
- he roof void is to be checked for defects and repaired as per surveyors
- ecommendations. e-instate damaged original skirting board and re-paint with breathable mineral aint.
- Re-instate damaged original coving on the second floor from water ingress through he roof.
- vi. Repair damaged windows.
- vii. Remove later fixings on walls and repair walls.
- viji. Repair or replace to exact specification internal window ledges where required.
- iX. Remove toilets and kitchen facilities and repair associated existing surfaces.
- X. Remove existing floor coverings and replace them with new ones.
- Xi. Remove suspended ceilings and re-instate original ceiling on ground floor...
- Xii. Remove stud walls and new partitions.
- Xiii. Re-instate original walls.

#### В. Conversion

- Remove existing electrical wires.
- Remove wall paper from the ceiling
- Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
- iv. Reposition fire exit signs.
- v. Re-instate cupboards under roof valleys.
- Clock mechanism to be replaced with a new one and to be repositioned to an ccessible location.
- Remove later added heating pipes.
- lew walls attached to existing original walls to be lightly fixed, so that works are reversible in the future.

# nc architecture

PROJECT

### Barclays Bank

22 London Road Alderley Edge SK9 7DZ

DRAWING

-LF

## Proposed GA First Floor

PROJECT NO. SCALE @ A3 1:100 P-105 9021 DRAWN BY CHECKED BY

-MAL

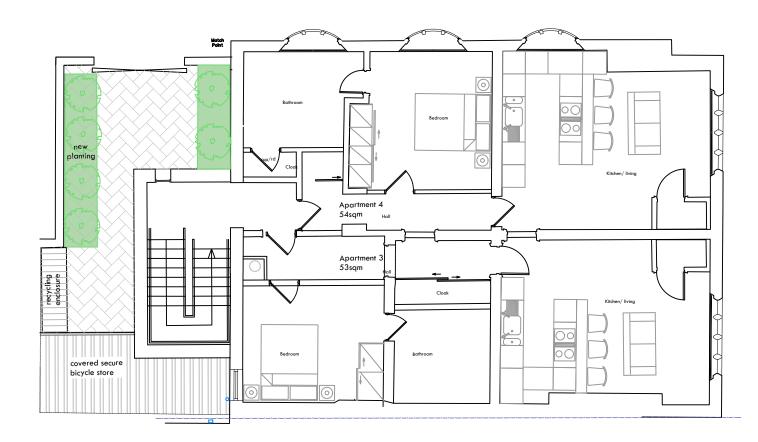
## PLANNING

REV DESCRIPTION INTL. CHK. DATE A Revised design MM MM 21.04.23 MM MM 11.05.23 B Reduced glazing C Amendments to elevations MM MM 14.06.23



**nc architecture** The Island, St. Ann's Parade, Wilmslow, Cheshire SK9 1HG

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Gross Intern	al Area (GIA)
Basement	92 sqm
Ground	122 sqm
Apartment 1	52 sqm
Apartment 2	50 aqm
Apartment 3	53 sqm
Apartment 4	54 sqm
Total	423 sqm
	•

	1. External
	Refurbishment
	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay
	Clean bricks from water ingress signs where required and reverse cracked bricks.
iii.	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
iv.	Carefully remove all friable lose surfaces from window plinths.
٧.	Clean plinths below windows.  Existing grilles and mesh and fixings to be removed from the window openings and any
	holes to be made good with a lime-based mortar. Repair and reinforce and tie the wall near the clock to SE recommendations.
	Replace to its original state timber support to the clock.
iX.	Repair timber fascia located centrally to the building.
Χ	Strengthen second floor cantilever structure to SE recommendations.
Xi	Clean and re-instate original tiles below 2 <sup>rtd</sup> -floor windows.
	Brush off excessive moss from the roof and sprayed with anti-fungal Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be
Xiv.	resecured by hooking the pegs over the battens. Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime
	mortar. If there is a vertical split replace with a short length segment. Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire
	balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic
Xvi.	µrethane gloss. Repair side wall slates on roof dormers.
	Clean moss and overgrown vegetation from the ground of the rear yard.
	Clean moss from the balcony outside the windows.
XiX.	Remove aerial if not required.
В.	Conversion
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift , associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
	Remove the fire exit door and steps from the rear side.
٧.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
wii	Remove stepped level coming from the basement to the circulation area (to be
	investigated internally).
	Excavate for foundations to SE suggestion.
	Secondary windows to be installed.
х.	New heritage style window to be installed to the rear wall and the staircase
	2. Existing Internal
Α.	Refurbishment Flaking plasterwork to be removed and walls to be made good to receive a lime
i.	mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of
ii.	<u>colour.</u> Remove furniture and fittings.
iii.	The roof void is to be checked for defects and repaired as per surveyors'
	recommendations. Re-instate damaged original skirting board and re-paint with breathable mineral
	paint. Re-instate damaged original coving on the second floor from water ingress through
	the roof. Repair damaged windows.
	Remove later fixings on walls and repair walls.
	Repair or replace to exact specification internal window ledges where required.
	Remove toilets and kitchen facilities and repair associated existing surfaces.
	Remove existing floor coverings and replace them with new ones.
	Remove suspended ceilings and re-instate original ceiling on ground floor
	Remove stud walls and new partitions.
	Re-instate original walls.
Xiii.	Conversion
Xiii. B.	
В.	Remove existing electrical wires.
B. i.	Remove existing electrical wires. Remove wall paper from the ceiling
B. i. ii.	Remove existing electrical wires.  Remove wall paper from the ceiling  Remove the old fire/ smoke sensor and replace it with a new one that suits the
B. i. ii. iii.	Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
B. i. ii. iii. iv.	Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal. Reposition fire exit signs.
B. i. ii. iii.	Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal. Reposition fire exit signs. Re-instate cupboards under roof valleys.
B. i. ii. iii. v. v.	Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal. Reposition fire exit signs. Re-instate cupboards under roof valleys. Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
B. i. ii. iii. v. v.	Remove wall paper from the ceiling Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal. Reposition fire exit signs. Re-instate cupboards under roof valleys. Clock mechanism to be replaced with a new one and to be repositioned to an



## Barclays Bank

SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

## Proposed GA Second Floor

PROJECT NO. 9021 DWG NO. P-106 SCALE @ A3 1:100 CHECKED BY DRAWN BY

#### -LF -MAL

## PLANNING

NTL. CHK. DATE

MM MM 21.04.23 REV DESCRIPTION A Revised design MM MM 11.05.23 B Reduced glazing MM MM 14.06.23



1:100

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