

22/4743M & 22/4744M

22 LONDON ROAD,

ALDERLEY EDGE,

WILMSLOW,

SK9 7JS

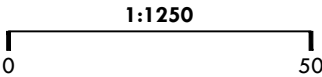
PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Location Plan

PROJECT NO. 9021	DWG NO. EX-001	REV NO. -	SCALE @ A3 1:1250
DRAWN BY -LF	CHECKED BY -MAL		

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
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-	-	-	-	-
-	-	-	-	-



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RIBA

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Architects
Registration
Board

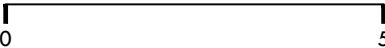
P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23
-	-	-	-	-

Demolished



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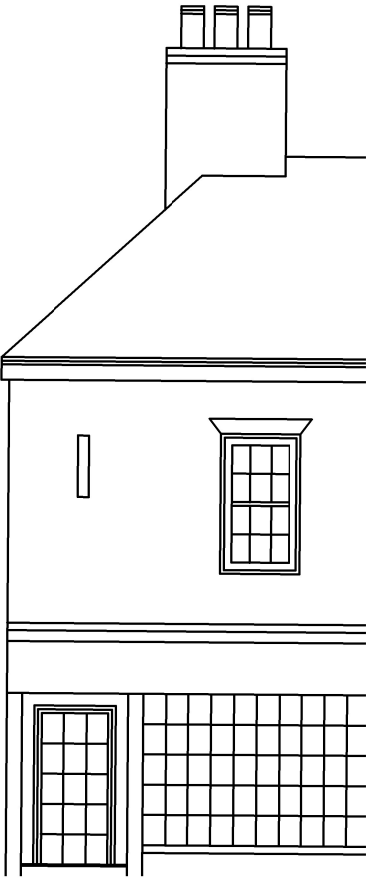
PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Existing contextual elevations

PROJECT NO. 9021
DWG NO. EX-200
REV NO. -
SCALE @ A3 1:100
DRAWN BY -LF
CHECKED BY -MAL

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
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-	-	-	-	-



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PROJECT
Barclays Bank

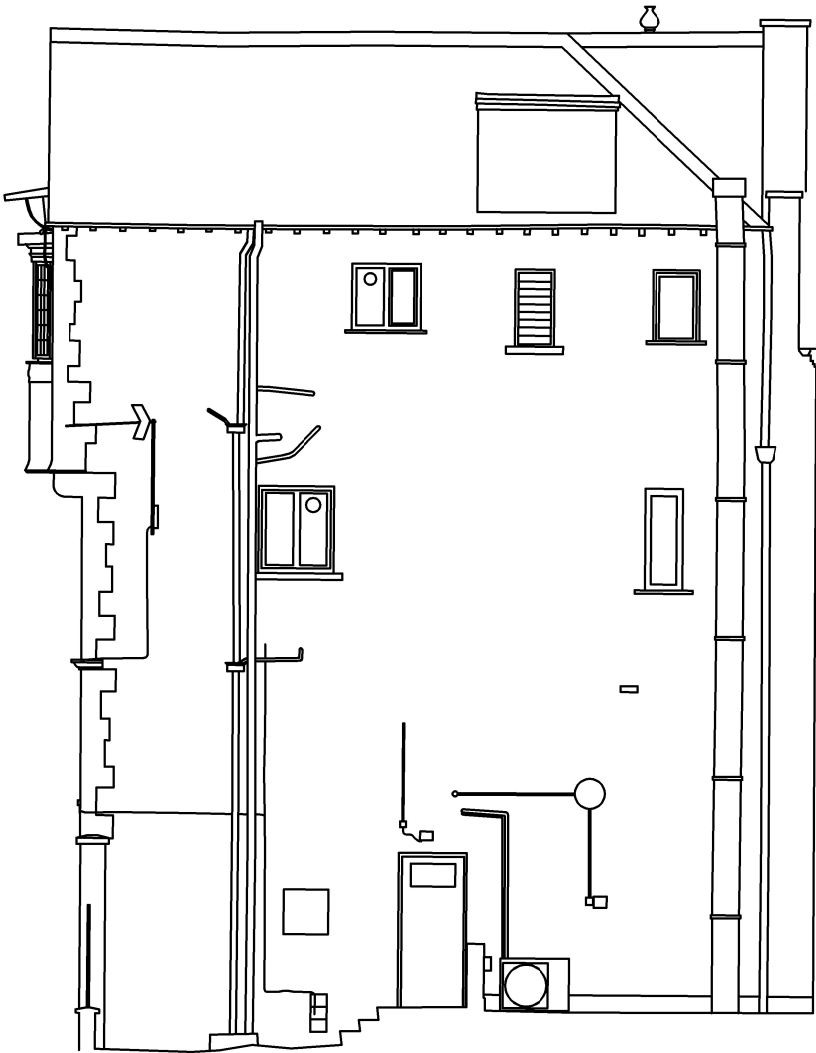
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Existing rear elevation

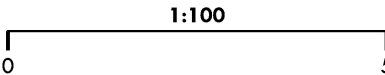
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DRAWN BY -LF	CHECKED BY -MAL		

P L A N N I N G

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Rear elevation

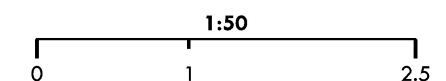


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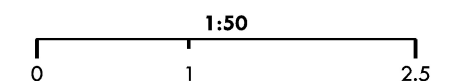
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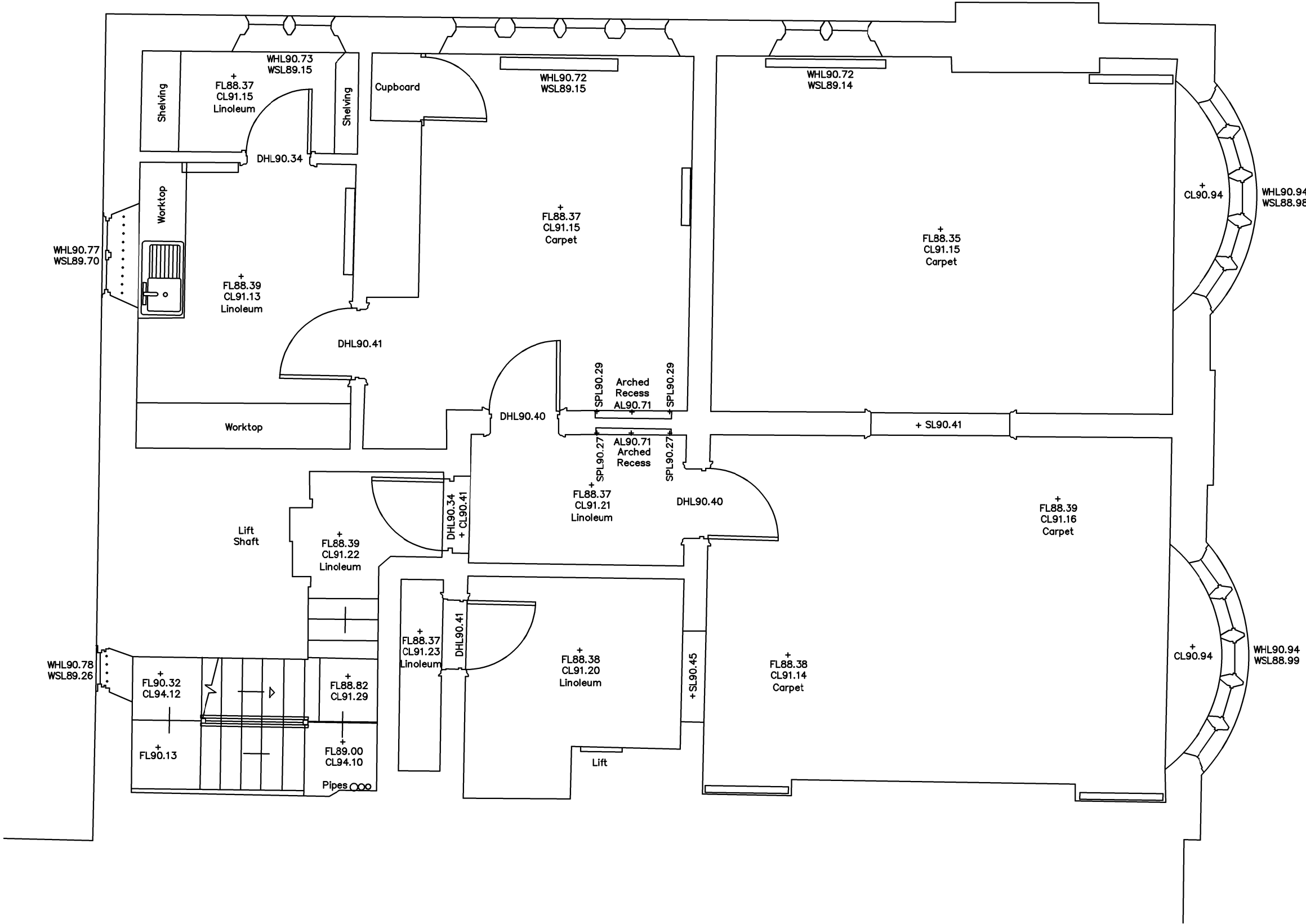
PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Existing first floor plan

PROJECT NO. 9021
DWG NO. EX-102
REV NO. -
SCALE @ A3 1:50
DRAWN BY -LF
CHECKED BY -MAL

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
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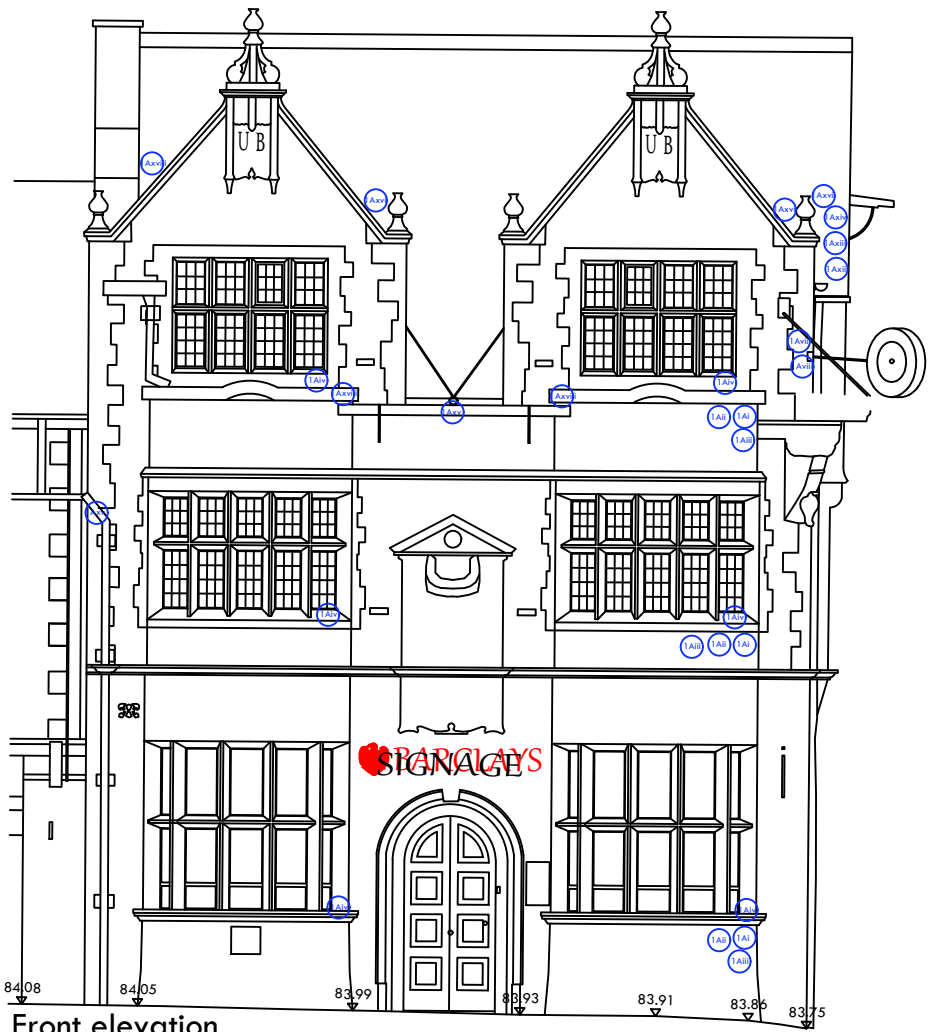
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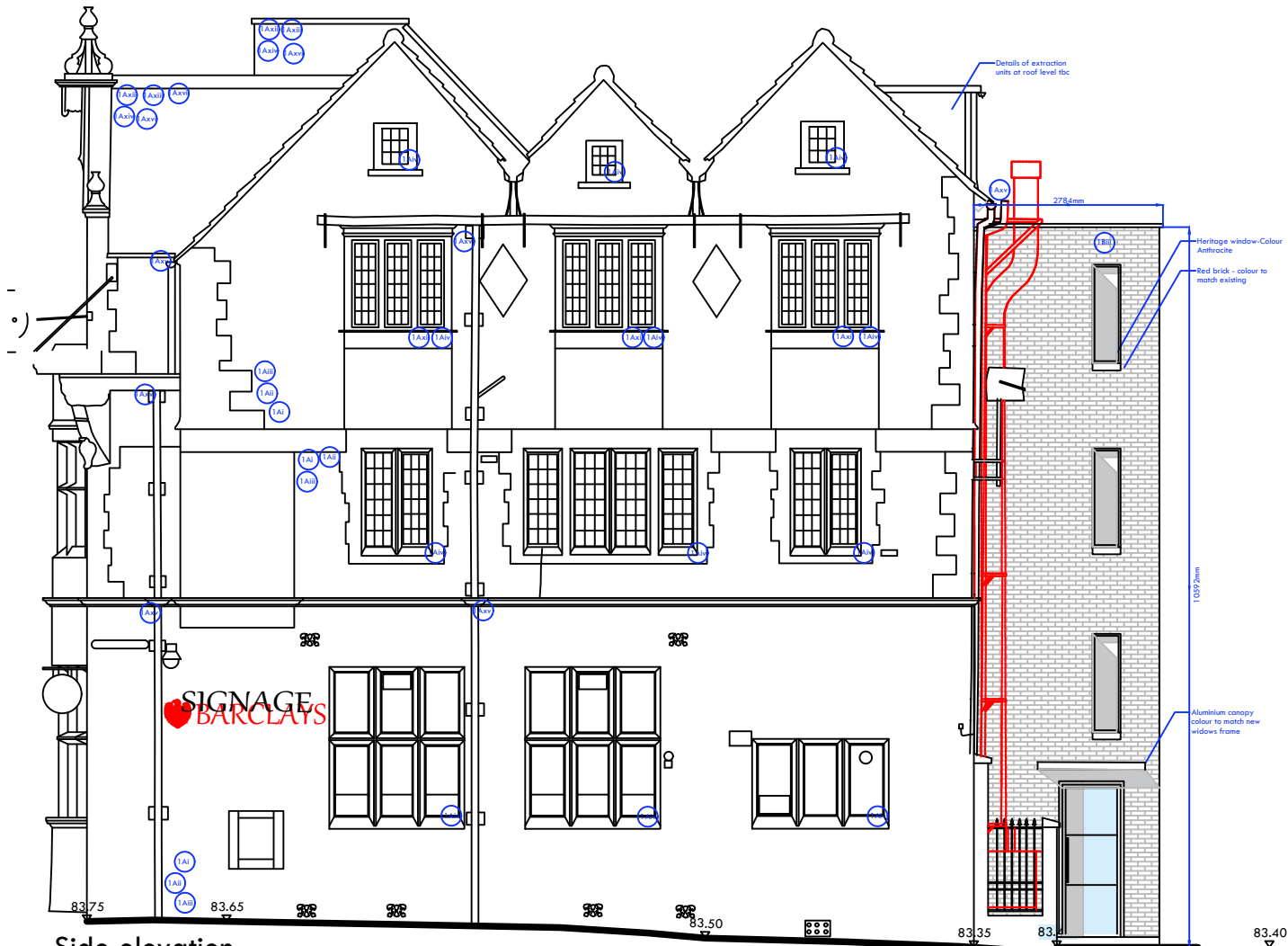
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-	-	-	-	-
-	-	-	-	-



A horizontal number line with tick marks at 0, 1, and 2.5. The label '1' is centered above the line between 0 and 2.5.



Front elevation



Side elevation

NOTES: All works are to be undertaken in accordance with the Building Regulations, and the latest British Standards. All proprietary materials and products are to be used in strict accordance with the manufacturer's recommendations. Figured dimensions to be followed in preference to scaled. All dimensions to be checked on site, in the event of any discrepancy refer to the Architect. This drawing remains the copyright of the Architect and may not be copied in whole or in part without prior written consent. © Neil Collins Homes Ltd. 1/a NC Architecture 2020

1. External	
A. Refurbishment	
i.	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
iii.	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
iv.	Carefully remove all friable loose surfaces from window plinths.
v.	Clean plinths below windows.
vi.	Existing grilles and mesh and fixings to be removed from the window openings and any holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
ix.	Repair timber fascia located centrally to the building.
X	Strengthen second floor cantilever structure to SE recommendations.
Xi	Clean and re-instate original tiles below 2 nd -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal
Xiii.	Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be resecured by hooking the pegs over the battens.
Xiv.	Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime mortar. If there is a vertical split replace with a short length segment.
Xv.	Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic urethane gloss.
Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XiX.	Remove aerial if not required.
B. Conversion	
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift, associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
v.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
vii.	Remove stepped level coming from the basement to the circulation area (to be investigated internally).
viii.	Excavate for foundations to SE suggestion.
ix.	Secondary windows to be installed.
x.	New heritage style window to be installed to the rear wall and the staircase
2. Existing Internal	
A. Refurbishment	
i.	Flaking plasterwork to be removed and walls to be made good to receive a lime mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of colour.
ii.	Remove furniture and fittings.
iii.	The roof void is to be checked for defects and repaired as per surveyors' recommendations.
iv.	Re-instate damaged original skirting board and re-paint with breathable mineral paint.
v.	Re-instate damaged original coving on the second floor from water ingress through the roof.
vi.	Repair damaged windows.
vii.	Remove later fixings on walls and repair walls.
viii.	Repair or replace to exact specification internal window ledges where required.
ix.	Remove toilets and kitchen facilities and repair associated existing surfaces.
X.	Remove existing floor coverings and replace them with new ones.
Xi.	Remove suspended ceilings and re-instate original ceiling on ground floor..
Xii.	Remove stud walls and new partitions.
Xiii.	Re-instate original walls.
B. Conversion	
i.	Remove existing electrical wires.
ii.	Remove wall paper from the ceiling
iii.	Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iv.	Reposition fire exit signs.
v.	Re-instate cupboards under roof valleys.
vi.	Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
vii.	Remove later added heating pipes.
viii.	New walls attached to existing original walls to be lightly fixed, so that works are reversible in the future.

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Increased window sizes	MM	MM	16.05.23
D	Extractor note added	MM	MM	21.06.23

Demolished

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PROJECT
Barclays Bank

SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Proposed Side Colour Elevation

PROJECT NO. 9021	DWG NO. P-203	REV NO. -	SCALE @ A3 1:100
DRAWN BY -LF	CHECKED BY -MAL		

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
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West street elevation



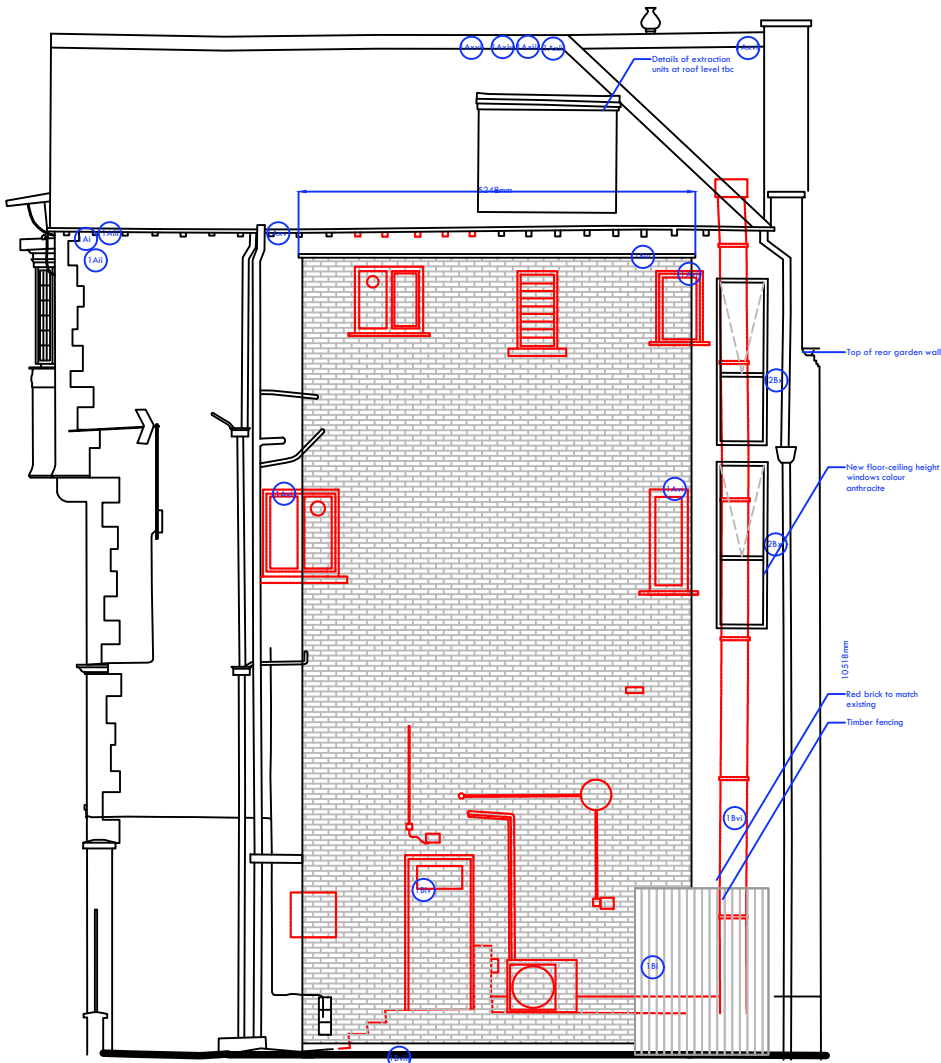
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P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23
D	Extractor note added	MM	MM	21.06.23

Demolished

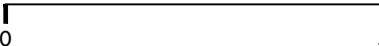


Rear elevation

1. External	
A.	Refurbishment
i.	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
iii.	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
iv.	Carefully remove all friable lose surfaces from window plinths.
v.	Clean plinths below windows.
vi.	Existing grilles and mesh and fixings to be removed from the window openings and any holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
ix.	Repair timber fascia located centrally to the building.
X	Strengthen second floor cantilever structure to SE recommendations.
Xi	Clean and re-instate original tiles below 2 nd -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal
Xiii.	Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be resecured by hooking the pegs over the battens.
Xiv.	Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime mortar. If there is a vertical split replace with a short length segment.
Xv.	Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic urethane gloss.
Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XiX.	Remove aerial if not required.
B.	Conversion
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift , associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
v.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
vii.	Remove stepped level coming from the basement to the circulation area (to be investigated internally).
viii.	Excavate for foundations to SE suggestion.
ix.	Secondary windows to be installed.
x.	New heritage style window to be installed to the rear wall and the staircase
2. Existing Internal	
A.	Refurbishment
i.	Flaking plasterwork to be removed and walls to be made good to receive a lime mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of colour.
ii.	Remove furniture and fittings.
iii.	The roof void is to be checked for defects and repaired as per surveyors' recommendations.
iv.	Re-instate damaged original skirting board and re-paint with breathable mineral paint.
v.	Re-instate damaged original coving on the second floor from water ingress through the roof.
vi.	Repair damaged windows.
vii.	Remove later fixings on walls and repair walls.
viii.	Repair or replace to exact specification internal window ledges where required.
ix.	Remove toilets and kitchen facilities and repair associated existing surfaces.
X.	Remove existing floor coverings and replace them with new ones.
Xi.	Remove suspended ceilings and re-instate original ceiling on ground floor..
Xii.	Remove stud walls and new partitions.
Xiii.	Re-instate original walls.
B.	Conversion
i.	Remove existing electrical wires.
ii.	Remove wall paper from the ceiling
iii.	Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iv.	Reposition fire exit signs.
v.	Re-instate cupboards under roof valleys.
vi.	Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
vii.	Remove later added heating pipes.
viii.	New walls attached to existing original walls to be lightly fixed, so that works are reversible in the future.



1:100

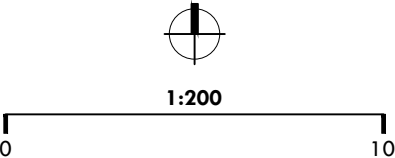
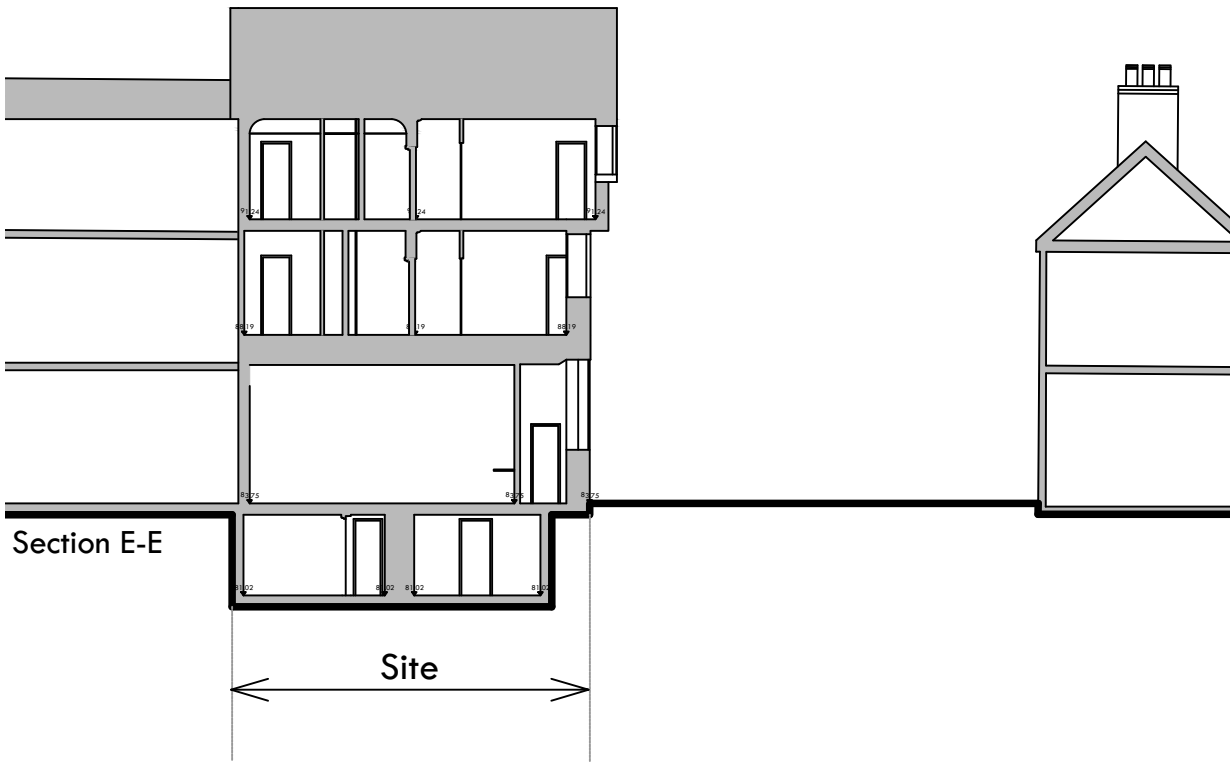
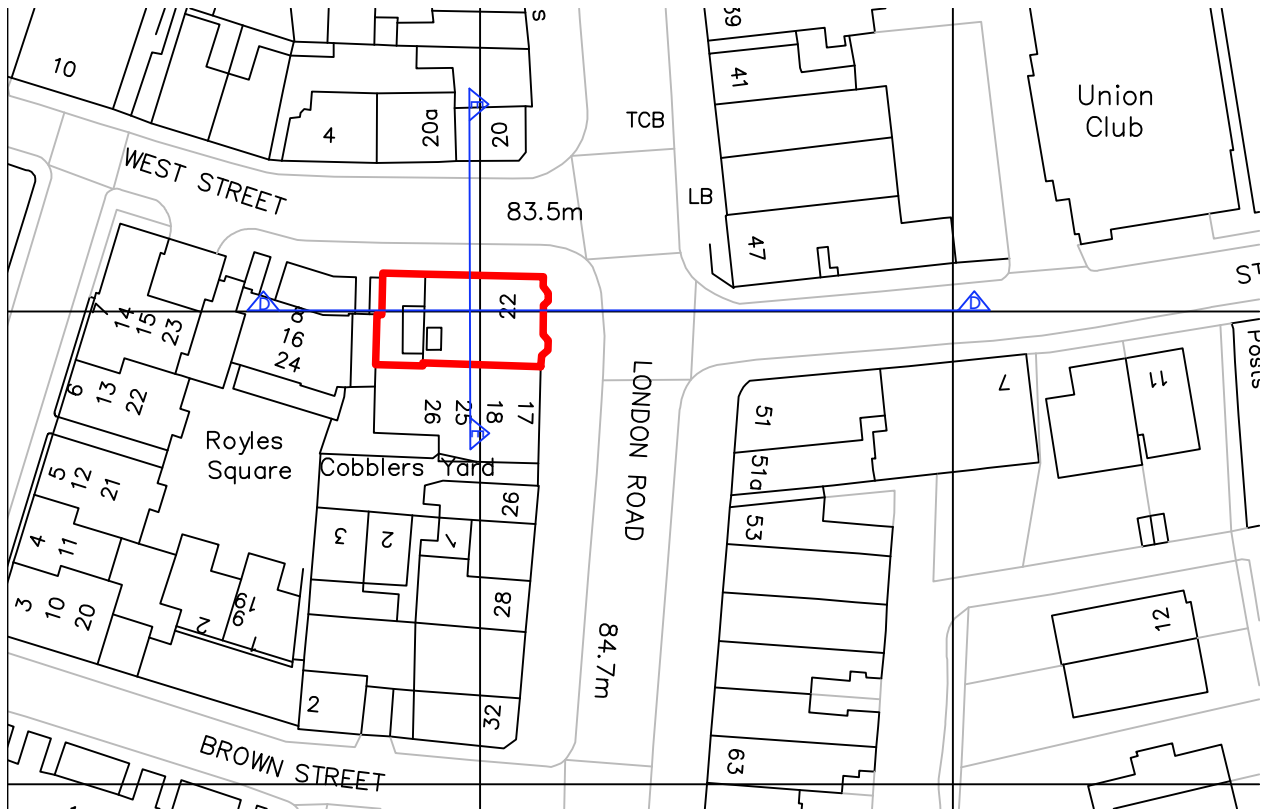


PROJECT
Barclays Bank
SITE ADDRESS
22 London Road
Alderley Edge
SK9 7DZ

DRAWING
Proposed street sections
PROJECT NO. 9021 DWG NO. P-303 REV NO. A SCALE @ A3 1:200
DRAWN BY -LF CHECKED BY -MAL

PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
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-	-	-	-	-

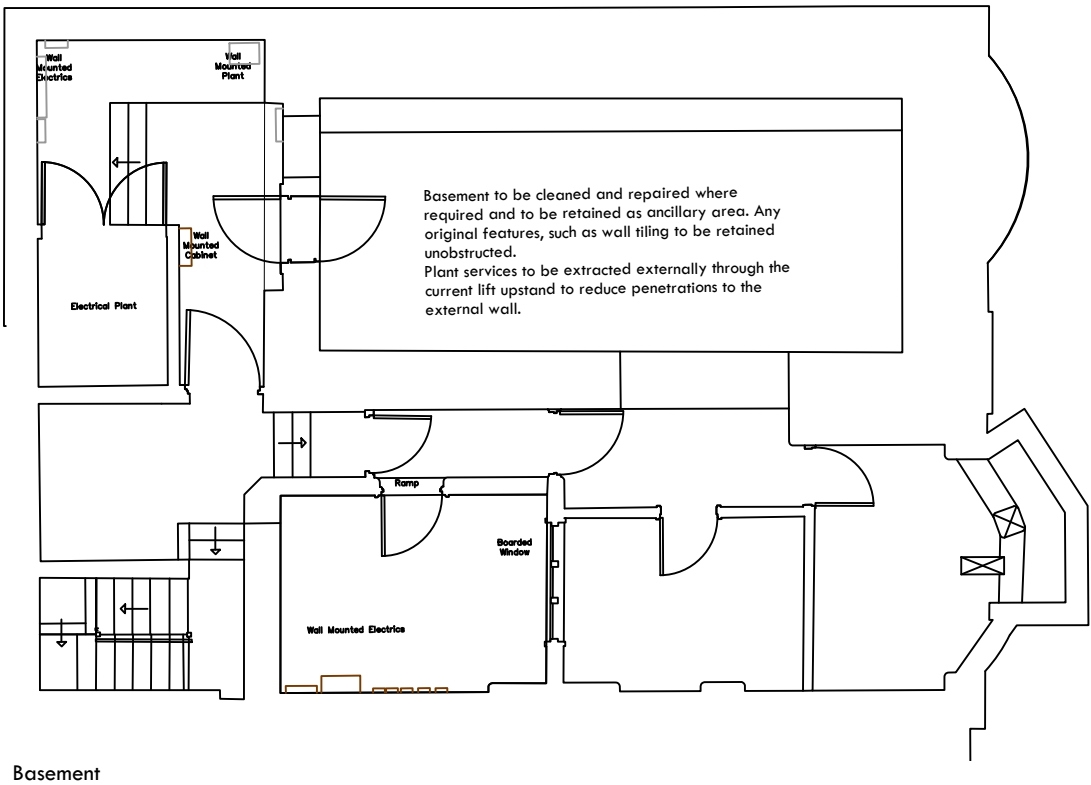
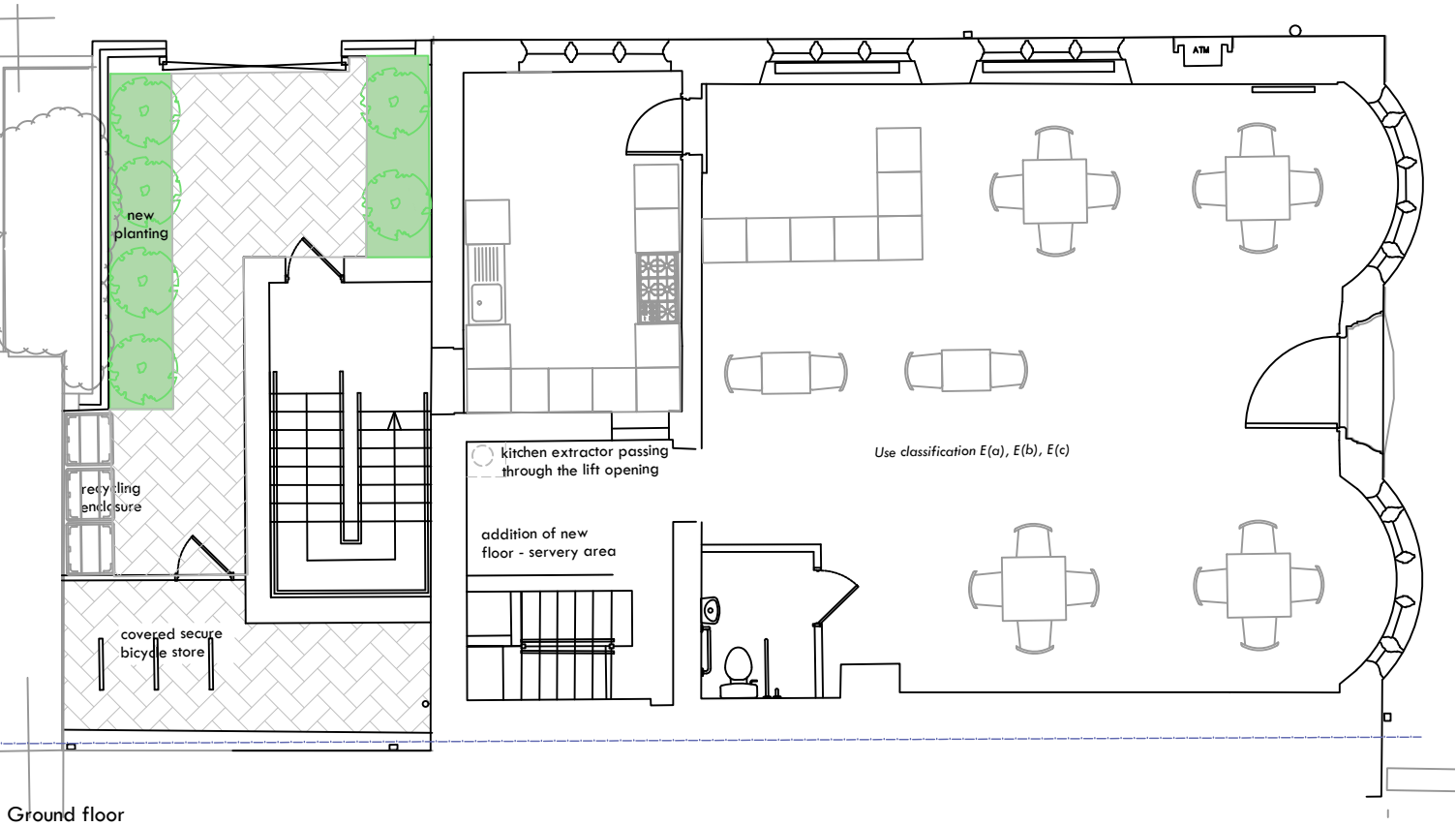


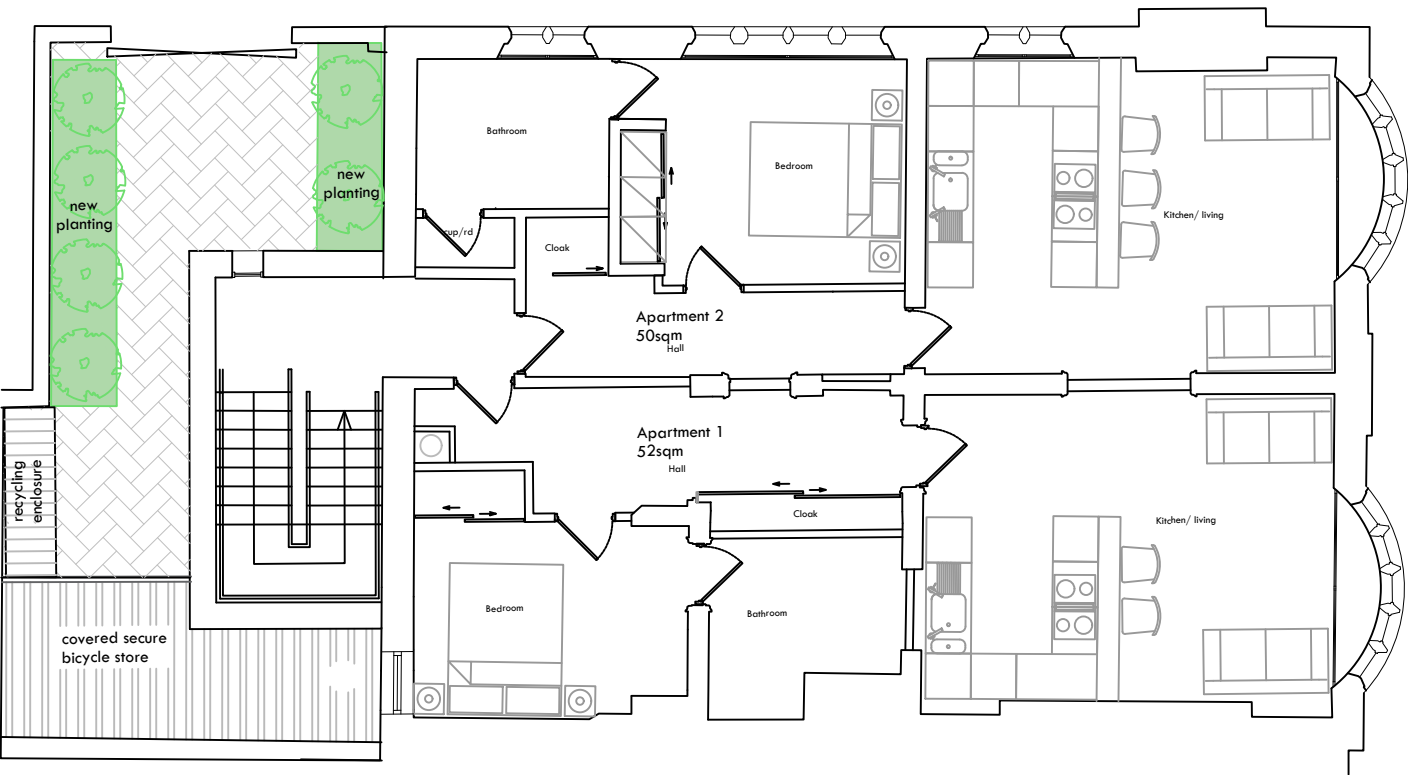
PLANNING

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23

Gross Internal Area (GIA)	
Basement	92 sqm
Ground	122 sqm
Apartment 1	52 sqm
Apartment 2	50 sqm
Apartment 3	53 sqm
Apartment 4	54 sqm
Total	423 sqm

1. External	
A. Refurbishment	
i.	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
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v.	Clean plinths below windows.
vi.	Existing grilles and mesh and fixings to be removed from the window openings and any holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
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Xi	Clean and re-instate original tiles below 2 nd -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal
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Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XIX.	Remove aerial if not required.
B. Conversion	
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift , associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
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vii.	Remove stepped level coming from the basement to the circulation area (to be investigated internally).
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iii.	The roof void is to be checked for defects and repaired as per surveyors' recommendations.
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B. Conversion	
i.	Remove existing electrical wires.
ii.	Remove wall paper from the ceiling
iii.	Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iv.	Reposition fire exit signs.
v.	Re-instate cupboards under roof valleys.
vi.	Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
vii.	Remove later added heating pipes.
viii.	New walls attached to existing original walls to be lightly fixed, so that works are reversible in the future.

PROJECT

Barclays Bank

SITE ADDRESS

22 London Road
Alderley Edge
SK9 7DZ

DRAWING

Proposed GA First Floor

PROJECT NO.

9021

DWG NO.

P-105

REV NO.

C

SCALE @ A3

1:100

DRAWN BY

-LF

CHECKED BY

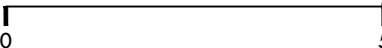
-MAL

P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23
-	-	-	-	-



1:100



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RIBA 

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arb Architects
Registration Board

PROJECT

Barclays Bank
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DRAWING

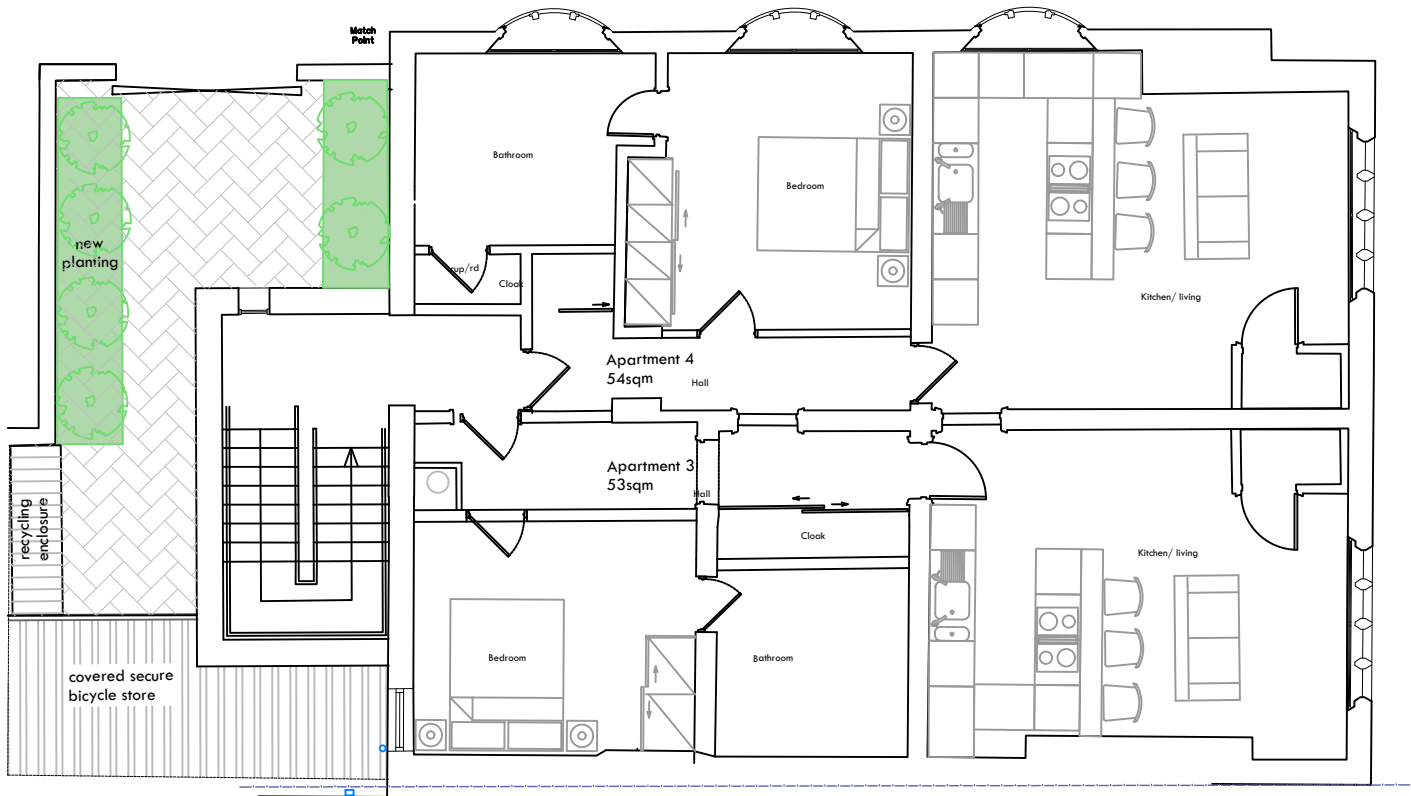
Proposed GA Second Floor

PROJECT NO. 9021 DWG NO. P-106 REV NO. C SCALE @ A3 1:100

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P L A N N I N G

REV	DESCRIPTION	INTL	CHK	DATE
A	Revised design	MM	MM	21.04.23
B	Reduced glazing	MM	MM	11.05.23
C	Amendments to elevations	MM	MM	14.06.23



Gross Internal Area (GIA)	
Basement	92 sqm
Ground	122 sqm
Apartment 1	52 sqm
Apartment 2	50 sqm
Apartment 3	53 sqm
Apartment 4	54 sqm
Total	423 sqm

1. External	
A.	Refurbishment
i.	Repair existing walls where required with minor repointing of eroded joints required with lime-mortar based. Bricks can be carefully removed and reversed to hide the decay.
ii.	Clean bricks from water ingress signs where required and reverse cracked bricks.
iii.	Repair wall cracking by replacing bricks of the same colour and quality and re-mortar with suitable lime-based mortar.
iv.	Carefully remove all friable loose surfaces from window plinths.
v.	Clean plinths below windows.
vi.	Existing grilles and mesh and fixings to be removed from the window openings and any holes to be made good with a lime-based mortar.
vii.	Repair and reinforce and tie the wall near the clock to SE recommendations.
viii.	Replace to its original state timber support to the clock.
ix.	Repair timber fascia located centrally to the building.
X	Strengthen second floor cantilever structure to SE recommendations.
Xi	Clean and re-instate original tiles below 2 nd -floor windows.
Xii.	Brush off excessive moss from the roof and sprayed with anti-fungal
Xiii.	Broken roof slates to be replaced and refixed with copper wire, but if they are heavier should be nailed or pegged. New slates should match original. Isolated tiles can be resecured by hooking the pegs over the battens.
Xiv.	Ridge and hip tiles can be embedded in lime mortar. In case of split or hole lead, replace by using a matching flashing wedged and pointed above the original with soft lime mortar. If there is a vertical split replace with a short length segment.
Xv.	Clean gutters and rainwater pipes provide plastic leaf guards to gutters and wire balloons above downpipes. Prepare surface by removing old rust and paint and redecorate with a solvent base system, such as an epoxy phosphate primer and acrylic urethane gloss.
Xvi.	Repair side wall slates on roof dormers.
Xvii.	Clean moss and overgrown vegetation from the ground of the rear yard.
Xviii.	Clean moss from the balcony outside the windows.
XiX.	Remove aerial if not required.
B.	Conversion
i.	Remove parts of the rear wall for access on the first and second floor.
ii.	Remove lift, associated walls and staircase as indicated
iii.	New brick on the staircase to match existing and windows to be heritage style.
iv.	Remove the fire exit door and steps from the rear side.
v.	Remove external flue and repair opening from the basement.
vi.	Remove vents coming from the basement to the circulation area (to be investigated internally).
vii.	Remove stepped level coming from the basement to the circulation area (to be investigated internally).
viii.	Excavate for foundations to SE suggestion.
ix.	Secondary windows to be installed.
x.	New heritage style window to be installed to the rear wall and the staircase
2. Existing Internal	
A.	Refurbishment
i.	Flaking plasterwork to be removed and walls to be made good to receive a lime mortar-based plaster and a breathable based paint. Widen cracks prior to fill with the same plaster. If areas of plaster become powdery consolidation techniques should be used. Flaky paintwork to be removed but the rest should be left undisturbed. New paint can be to the original standard, assume lime-wash with alkali-resistant pigments of colour.
ii.	Remove furniture and fittings.
iii.	The roof void is to be checked for defects and repaired as per surveyors' recommendations.
iv.	Re-instate damaged original skirting board and re-paint with breathable mineral paint.
v.	Re-instate damaged original coving on the second floor from water ingress through the roof.
vi.	Repair damaged windows.
vii.	Remove later fixings on walls and repair walls.
viii.	Repair or replace to exact specification internal window ledges where required.
ix.	Remove toilets and kitchen facilities and repair associated existing surfaces.
X.	Remove existing floor coverings and replace them with new ones.
Xi.	Remove suspended ceilings and re-instate original ceiling on ground floor..
Xii.	Remove stud walls and new partitions.
Xiii.	Re-instate original walls.
B.	Conversion
i.	Remove existing electrical wires.
ii.	Remove wall paper from the ceiling
iii.	Remove the old fire/ smoke sensor and replace it with a new one that suits the proposal.
iv.	Reposition fire exit signs.
v.	Re-instate cupboards under roof valleys.
vi.	Clock mechanism to be replaced with a new one and to be repositioned to an accessible location.
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